

WHEN RECORDED RETURN TO:

KIP Development
Attn: Kevin Kirkman
P.O. Box 642
Pullman, WA 99163

755003

Amd/covenants Rec Fee: \$ 105.50
10/01/2019 02:21 PM Page: 1 of 3
Sandra D. Jamison, Whitman County Auditor



File No.:

Filed for Record at Request of: *Stewart Title Company*

DOCUMENTS TITLE(S):

FIRST AMENDMENT TO THE DECLARATION OF PROTECTIVE COVENANTS

REFERENCE NUMBER(S) OF DOCUMENTS ASSIGNED OR RELEASED:

721283

GRANTOR(S):

KIP Development, LLC, a Washington limited liability company

GRANTEE(S):

The Public

ABBREVIATED LEGAL DESCRIPTION:

TAX PARCEL NUMBER(S):

755003

Amd/covenants Rec Fee: \$ 105.50
10/01/2019 02:21 PM Page: 2 of 3
Sandra D. Jamison, Whitman County Auditor



After recording, return to:
Kevin Kirkman
PO Box 642
Pullman WA 99163

FIRST ADMENDMENT TO THE DECLARATION OF PROTECTIVE COVENANTS AND
RESTRICTIONS FOR PALOUSE BUSINESS CENTER

THIS FIRST ADMENDMENT TO THE DECLARATION OF PROTECTIVE COVENANTS AND
RESTRICTIONS ("Covenants") is made this 1st day OCTOBER 2019, by Kevin D. Kirkman dba
KIP Development, LLC (Declarant), P.O. Box 642, Pullman, Washington, 99163, regarding certain land
known as Palouse Business Center Subdivision, in the City of Pullman, Washington.

ARTICLE I
RECITALS

- 1.1 Declarant is the present record title holder of more than 15% of the property subject
DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS and situated in the City
of Pullman, County of Whitman, State of Washington, described as all lots within the Palouse
Business Center Subdivision, Pullman Washington as Recorded in Whitman County under AFN
721282 attached hereto and incorporated herein, which real property is referred to herein as the
"Property".
- 1.2 Tax Parcel Numbers: 1-1203-00-04-01-0000, 1-1203-00-01-01-0000, 1-1203-00-01-02-0000,
1-1203-00-01-03-0000, 1-1203-00-01-04-0000, 1-1203-00-01-05-0000, 1-1203-00-01-06-0000,
1-1203-00-01-07-0000, 1-1203-00-02-01-0000, 1-1203-00-02-02-0000, 1-1203-00-02-03-0000,
1-1203-00-02-04-0000, 1-1203-00-02-05-0000, 1-1203-00-02-06-0000, 1-1203-00-02-07-0000,
1-1203-00-02-08-0000, 1-1203-00-02-09-0000, 1-1203-00-02-10-0000, 1-1203-00-02-11-0000,
1-1203-00-02-12-0000, 1-1203-00-03-01-0000, 1-1203-00-03-02-0000,
- 1.3 Declarant is desirous of Amending the conditions, covenants, restrictions and reservations set forth as
recorded in Whitman County under AFN 721283 as allowed and defined under section 3.8 and
section 6.2 of the original DECLARATION OF PROTECTIVE COVENANTS AND
RESTRICTIONS as recorded therein.

NOW THEREFORE, in consideration of the covenant contained therein, Declarant herby amends the
Declaration as follows:



- A. Eliminate and remove Lots 5, 6, 7, 8, 9, 10, 11 and 12 Block 2 from DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR PALOUSE BUSINESS CENTER as recorded under in Whitman County under AFN 721283
- B. Eliminate and remove Lots 1 and 2 Block 3 from DECLARATION OF PROTECTIVE COVENANTS AND RESTRICTIONS FOR PALOUSE BUSINESS CENTER as recorded under in Whitman County under AFN 721283
- C. Modify Section 4.2 to read as follows:

4.2 Maintenance of Common Area. The Association shall maintain, or cause to be maintained, the improved Common Area and improvements defined as Lot 1, Block 4, and existing entrance monument signage used commonly by the Building Site Owners, in a clean, slightly, safe condition and good state of repair.

- D. Eliminate Section 9.3 Sustainability and "Green" Initiatives in its entirety.

Other Agreements and Declarations. Nothing in this Amendment shall modify or relieve any Owner or other person from complying with obligations under any declarations for easements or other agreements affecting the Property or portions thereof which are recorded and/or entered into with an Owner or shown on the plat.

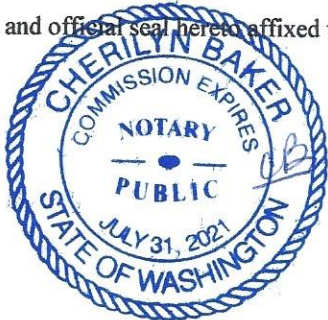
IN WITNESS WHEREOF, Declarant Kevin D. Kirkman has executed this instrument the day and year first above written.

By: [Signature]
Declarant: Kevin Kirkman

STATE OF WASHINGTON)
) ss.
County of Whitman)

On this 1st day of October, 2019, before me, the undersigned Notary Public in and for the State of Washington, duly commissioned and sworn personally appeared **Kevin D. Kirkman** to me known to be the Principal Member of **KIP Development, LLC**, the entity that executed the foregoing instrument to be the free and voluntary act and deed of said entity, for the uses and purposes therein mentioned and on oath stated that he is authorized to execute the said instrument.

Witness my hand and official seal here to affixed the day and year first above written.



[Signature]
Notary Public in and for the State of Washington
Residing at: Killman
My commission expires: 07-31-21